



5

Holt | LL13 9XL

£299,950

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Situated in the highly sought-after village of Holt is this beautifully presented four-bedroom, three-storey, end-terrace family home, offered for sale in excellent condition throughout. In brief, the accommodation comprises an external sheltered entrance porch, entrance hallway, modern kitchen/diner, spacious lounge, sunroom, and downstairs WC to the ground floor, providing versatile and well-planned living space. To the first floor, there are three bedrooms, two of which are doubles, together with a family bathroom. The second floor boasts a generously sized principal bedroom. Externally, the property benefits from a driveway to the front, an additional allocated parking space, and a landscaped south-facing rear garden designed for easy maintenance with artificial lawn, patio, and storage shed. The Orchards is set within the picturesque and historic village of Holt, a vibrant community offering an excellent range of amenities including independent shops, cafés, pubs, a primary school, and medical centre. The village lies on the Welsh-English border alongside the River Dee and is surrounded by beautiful countryside, making it ideal for walking and outdoor pursuits. Despite its semi-rural setting, Holt offers superb transport links, with Wrexham and Chester both within easy reach via the A534 and A483 road networks.

- FOUR BEDROOM SEMI-DETACHED THREE STOREY FAMILY HOME
- SOUGHT AFTER AREA OF HOLT
- ENTRANCE HALL AND DOWNTIME WC
- MODERN KITCHEN/DINING AREA
- SPACIOUS LOUNGE WITH BUILT IN STORAGE
- SUNROOM
- THIRD FLOOR PRINCIPAL BEDROOM
- DRIVEWAY AND ADDITIONAL PARKING
- LANDSCAPED SOUTH FACING REAR GARDEN
- CUL-DE-SAC LOCATION



## Entrance

To the front there is a sheltered porch area with shelving. A composite door leads into the entrance hallway with wooden laminate flooring, panelled radiator, ceiling light point, stairs to the first floor, doors to downstairs WC, kitchen and lounge.

## Kitchen/Dining Room

A modern kitchen housing a range of wall, drawer and base units with complimentary work surface over. Integrated appliances to include washing machine, dryer, dishwasher, eye-level double oven and grill with microwave oven above, induction four ring hob with tilted modern extractor above. Space for American style fridge freezer and dining table. Porcelain sink unit with mixer tap above. Finished with brick splash-back tiling, recessed LED lighting, under-cabinet lighting, wooden laminate flooring, panelled radiator and uPVC double glazed window to the front elevation with venetian blinds.

## Living Room

Spacious living space with uPVC double glazed window to the side elevation with blinds and aluminium sliding patio doors into the sunroom. Fitted with a range of under-stairs storage cupboards with rail and shelving. Gas fireplace with solid wooden surround, marble back and hearth. Two modern vertical radiators, wooden laminate flooring and ceiling light point.

## Sunroom

Brick built sun room with triple aspect uPVC double glazed windows and French doors to the garden area. Three Velux sky lights, recessed LED lighting, power sockets and tiled floor.

## Downstairs WC

Two piece suite comprising low-level WC and wash

hand basin. Frosted uPVC double glazed window to the front elevation, tiled flooring, heated towel rail, ceiling light point and electric box.

## First Floor Landing

Airing cupboard with shelving, carpet flooring, two ceiling light points, panelled radiator, doors to bedrooms two, three, four and bathroom. Stairs to second floor and principal bedroom.

## Bedroom Two

UPVC double glazed window to the rear elevation with blinds. Carpet flooring, ceiling light point and panelled radiator.

## Bedroom Three

UPVC double glazed window to the front elevation with roller blind. Carpet flooring, ceiling light point and panelled radiator.

## Bedroom Four

UPVC double glazed window to the rear elevation with Roman blind. Carpet flooring, ceiling light point and panelled radiator.

## Family Bathroom

Three piece suite comprising low-level WC, pedestal wash hand basin and panelled bath with electric shower over. Finished with vinyl flooring, heated towel rail, ceiling light point, part tiled walls extractor and Velux skylight window to the front elevation.

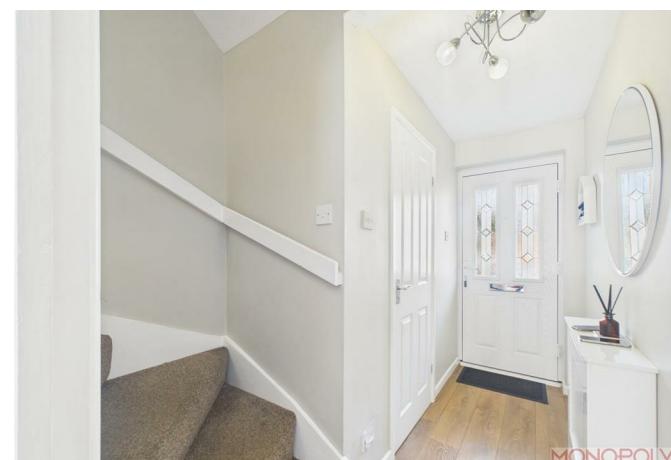
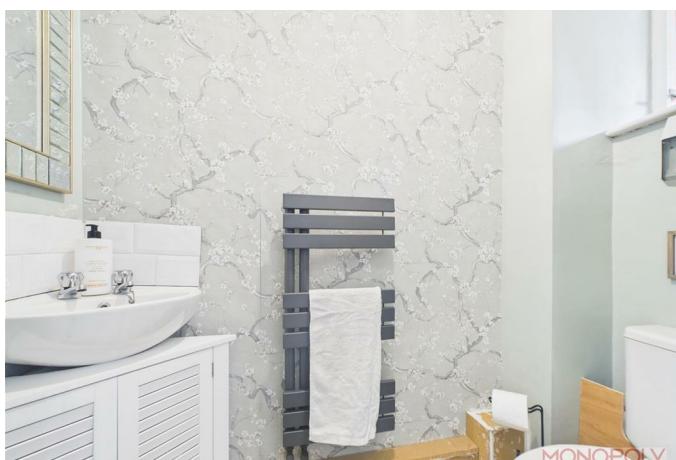
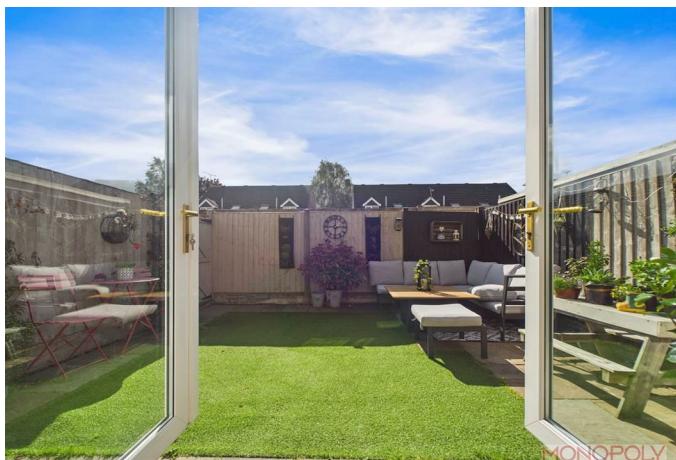
## Second Floor Landing

Carpeted stairs rise to landing area with carpet flooring and ceiling light point. Door into principal bedroom.

## Principal Bedroom

Two Velux skylights to the front and rear elevation. Access to loft. Carpet flooring, ceiling light point and panelled radiator.





## Outside

To the front elevation there is a driveway providing off-road parking, in addition to a further allocated parking space. Gated access runs alongside the property leading to the rear garden. The rear garden is south facing and designed for ease of maintenance, featuring an artificial lawn and an Indian sandstone patio creating a smart border and seating area. A timber shed provides useful external storage, while the garden is fully enclosed with timber fencing, offering both privacy and security. A timber side gate connects back to the front of the property, and there is the added convenience of an outside tap to the front..

## Additional Information

The present owners have improved and maintained the property since owning. A new kitchen was fitted in 2021. There has been a new roof fitted on the conservatory. The boiler is serviced every other year and the home has Nest smart control fitted. There is hard wired CCTV to the front, side and rear.

## Important Information

**MONEY LAUNDERING REGULATIONS 2003** Intending purchasers will be asked to produce identification and proof of financial status when an offer is received. We would ask for your co-operation in order that there will be no delay in agreeing the sale.

**THE PROPERTY MISDESCRIPTIONS ACT 1991** The Agent has not tested any apparatus, equipment, fixtures and fittings or services and so cannot verify that they are in working order or fit for the purpose. A Buyer is advised to obtain verification from their Solicitor or Surveyor. References to the Tenure of a Property are based on information supplied by the Seller. The Agent has not had sight of the title documents. A Buyer is advised to obtain verification from their Solicitor. You are advised to check the availability of this property before travelling any distance to view. We have taken every precaution to ensure that these details are accurate and not misleading. If there is any point which is of particular importance to you, please contact us and we will provide any information you require. This is advisable, particularly if you intend to travel some distance to view the property. The mention of any appliances and services within these details does not imply that they are in full and efficient working order. These details must therefore be taken as a guide only.





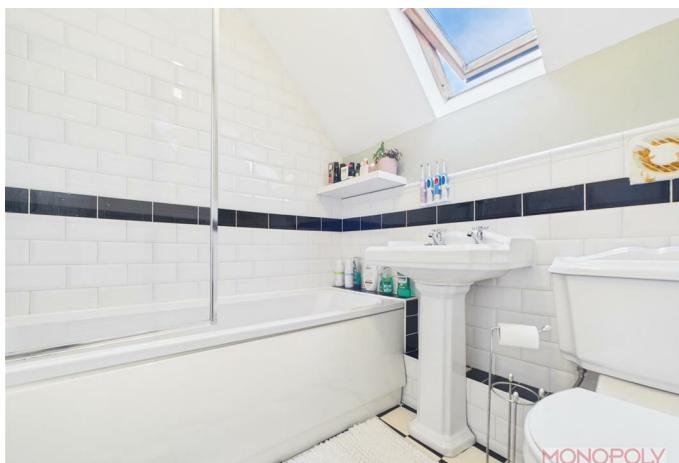
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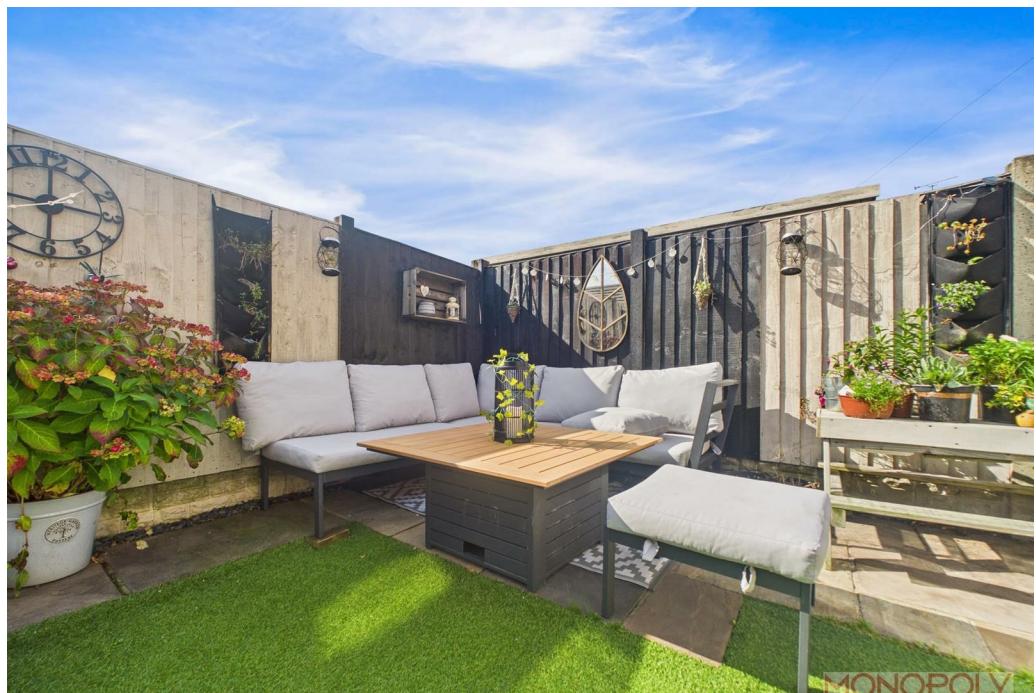
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Energy Efficiency Rating		Current	Prospective
Very energy efficient - lower running costs			
(92 plus) A	B	76	80
(81-91) B	C		
(69-80) C	D		
(55-68) D	E		
(39-54) E	F		
(21-38) F	G		
(1-20) G			
Not energy efficient - higher running costs			
EU Directive 2002/91/EC			

Environmental Impact (CO <sub>2</sub> ) Rating		Current	Prospective
Very environmentally friendly - lower CO <sub>2</sub> emissions			
(92 plus) A	B	76	80
(81-91) B	C		
(69-80) C	D		
(55-68) D	E		
(39-54) E	F		
(21-38) F	G		
(1-20) G			
Not environmentally friendly - higher CO <sub>2</sub> emissions			
EU Directive 2002/91/EC			



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